

THE THAYER

Lot 40 Holt Road
Wilton, NH 03086

Another Quality Home By:



NUMBER	DATE	REVISION BY	DESCRIPTION

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To Scale on 11" x 17" Paper

Pictures are facsimiles, and may show upgrade items, items that will not be included, or items that may be changed dependant on availability.

DRAWING SHEET INDEX

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PLAN DETAILS

FINISHED LIVING AREA:	1516
UNFINISHED LIVING AREA:	0
BASEMENT AREA:	1516
TOTAL LIVING AREA:	1516
GARAGE AREA:	484
DECK AREA:	82
PORCH AREA:	240
BEDROOMS:	3
BATHROOMS:	2
GARAGE BAYS:	2

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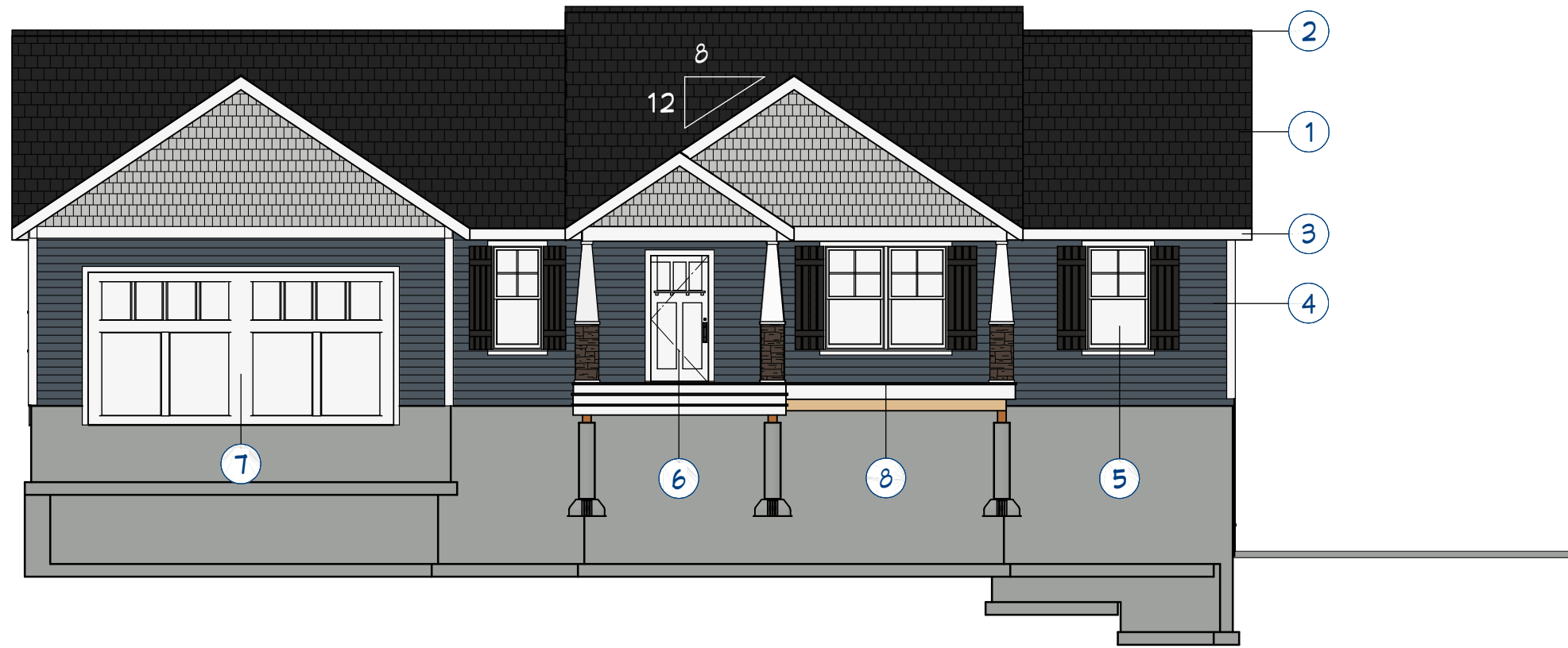
8/14/2019

SCALE:

NOT TO SCALE

SHEET:

CS-1



MATERIAL LEGEND

- ① ASPHALT SHINGLES
- ② CONTINUES RIDGE VENT W/ ASPHALT SHINGLE CAP
- ③ BENT METAL (ALUMINUM) DRIPEDGE, FASCIA & TRIM - COLOR WHITE
- ④ VINYL SIDING & CORNER TRIM
- ⑤ VINYL WINDOWS (TILT-WASH) W/ ARGON INSULATED GLASS, GRILLES AND SCREENS (SEE WINDOW SCHEDULE FOR SIZES AND TYPES) U VALUE = .35 MAX, SHGC = ANY
- ⑥ PREHUNG, METAL INSULATED DOOR
- ⑦ METAL GARAGE DOOR
- ⑧ TREX PORCH/DECK



REVISION TABLE

NUMBER DATE REVISED BY DESCRIPTION

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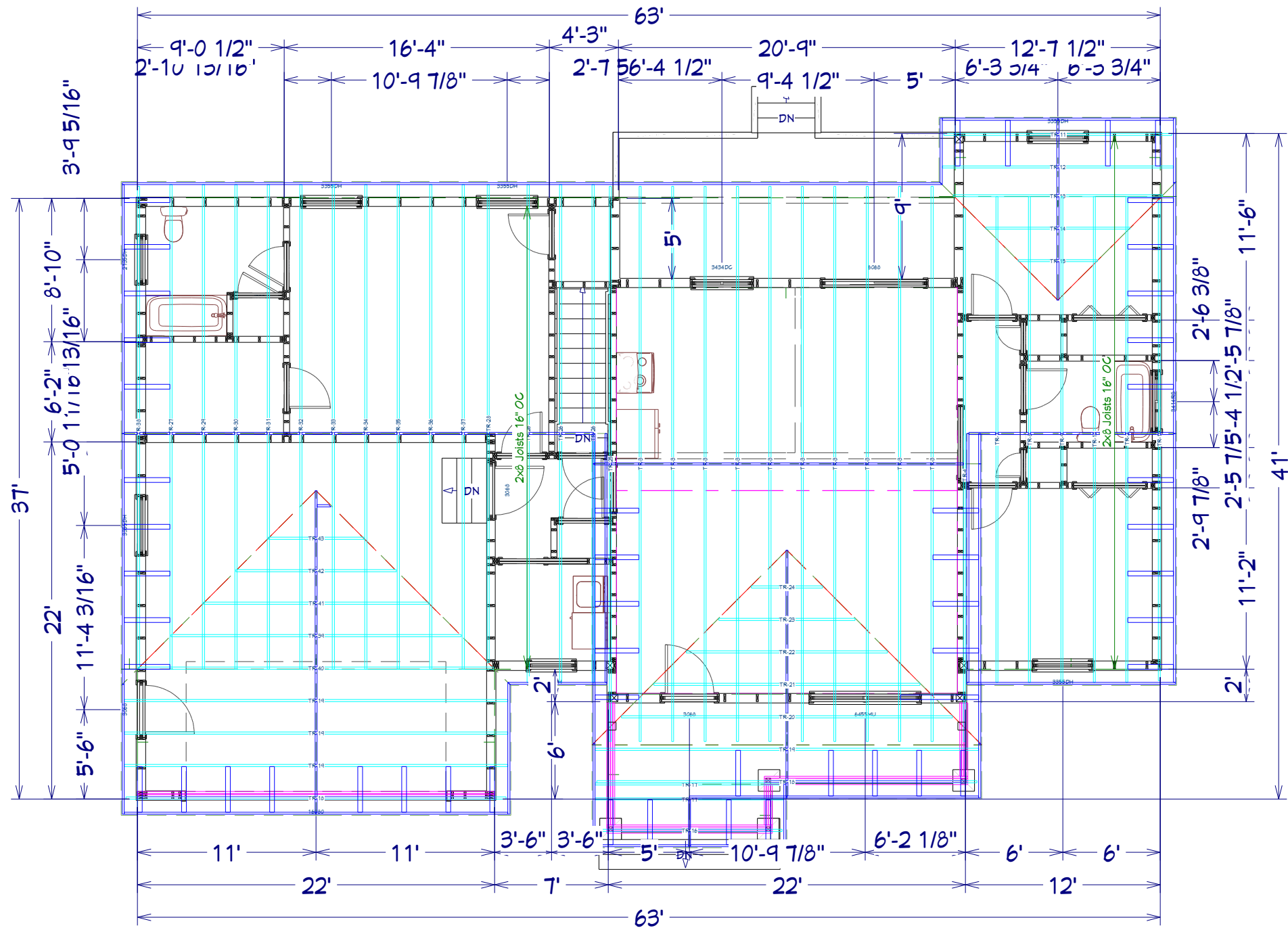
8/14/2019

SCALE:

1/8" = 1'

SHEET:

A-2



1st Floor

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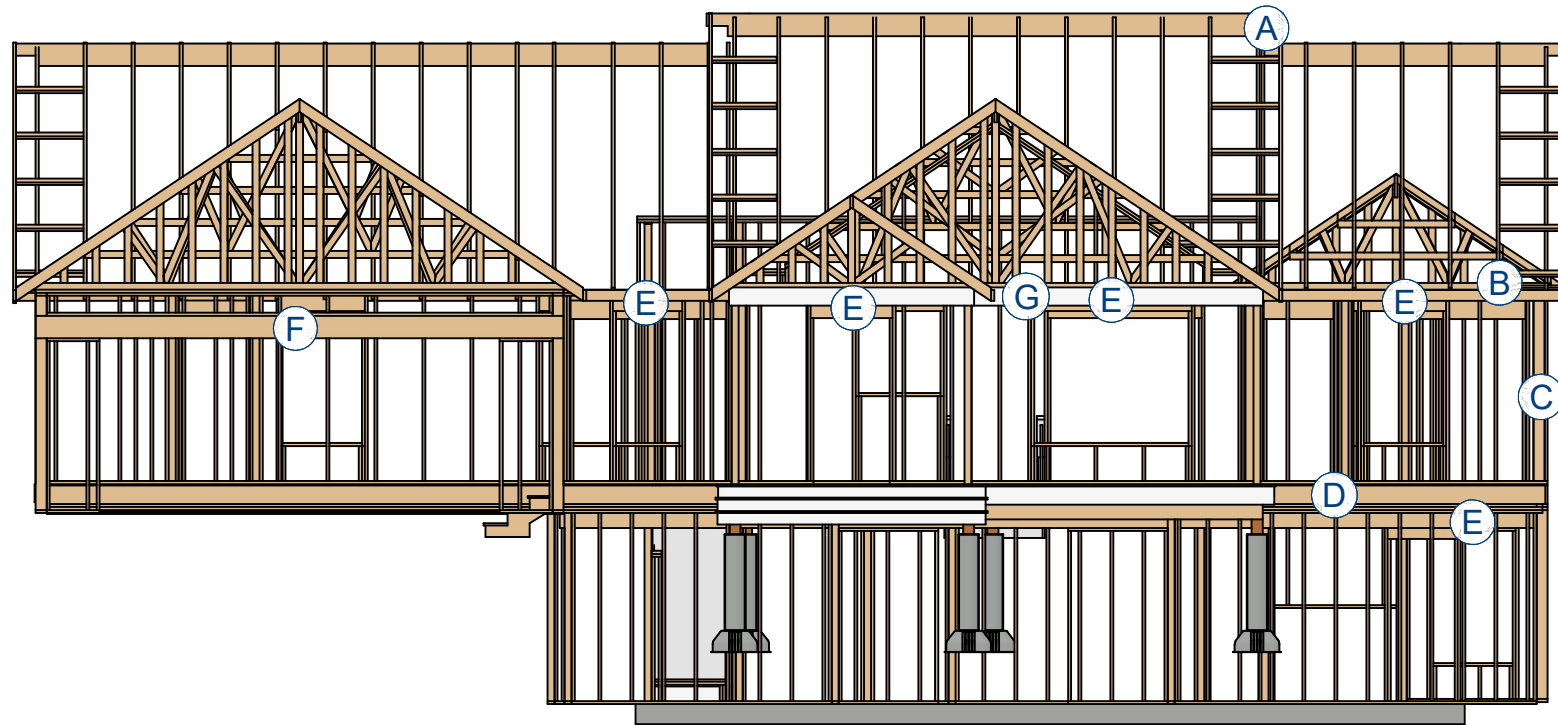
8/14/2019

SCALE:

1/8" = 1'

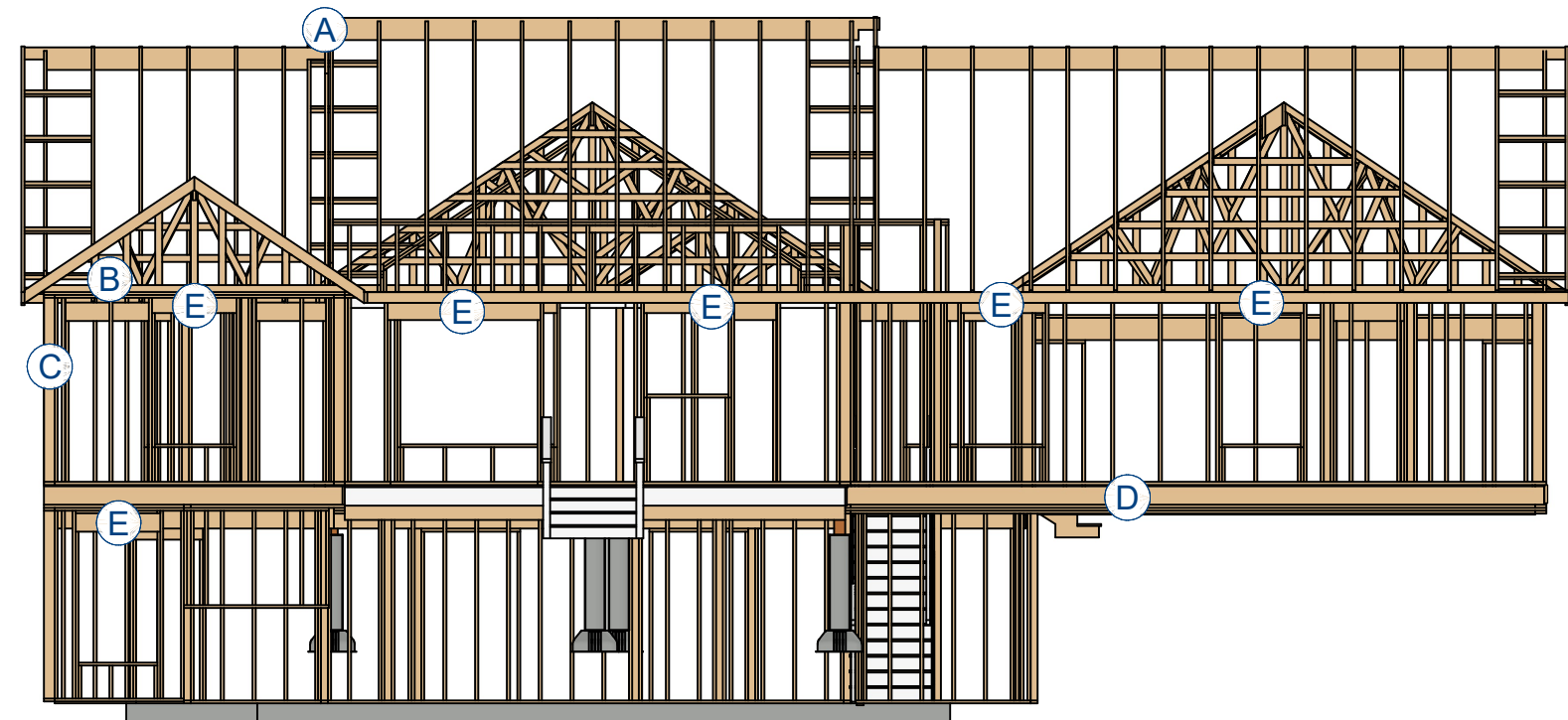
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A-5



FRAMING DETAILS

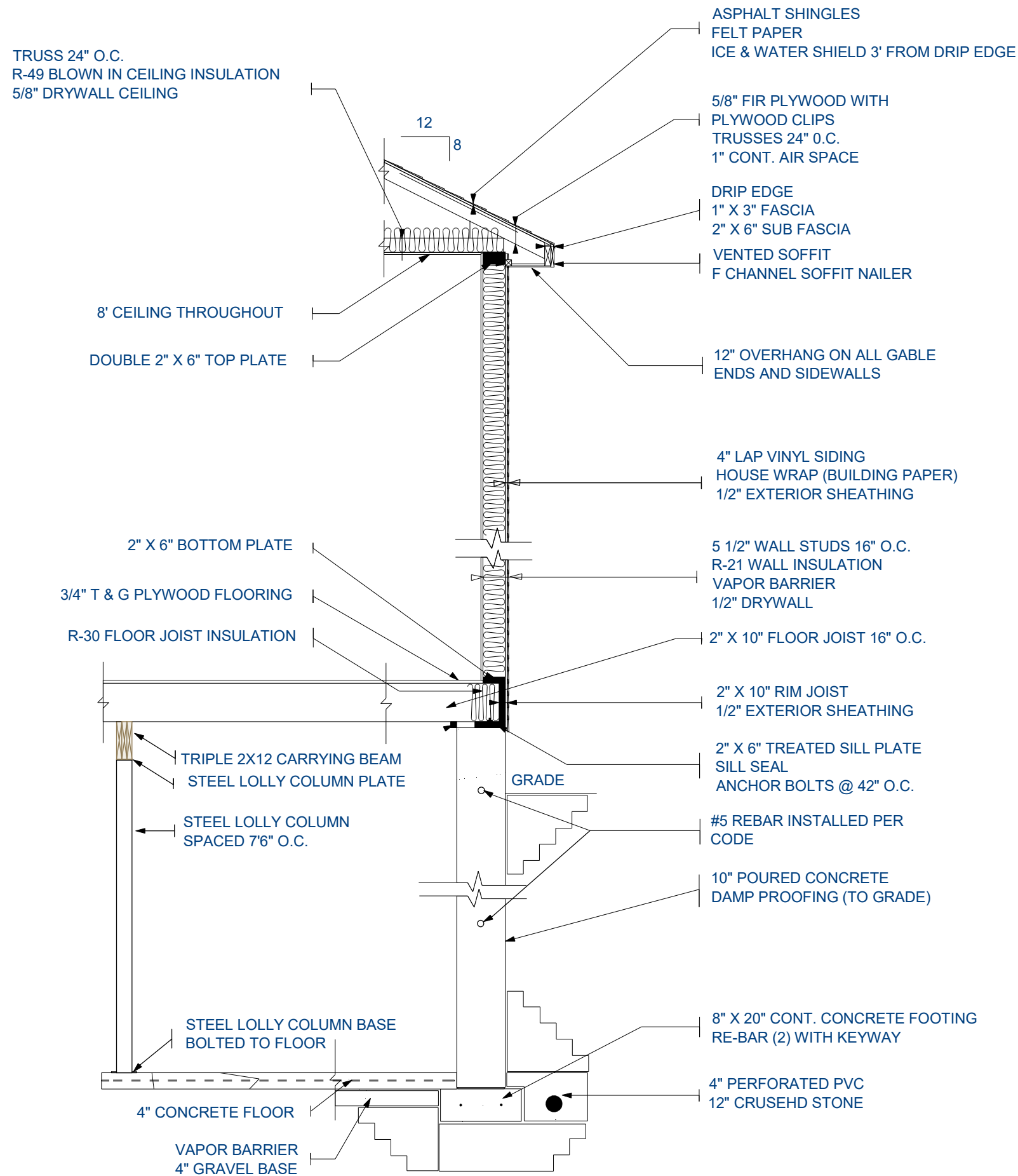
- Ⓐ TRUSS
- Ⓑ TRUSS
- Ⓒ WALLS 2"X6"
- Ⓓ FLOOR JOISTS 2"X10"
- Ⓔ HEADERS TRIPLE 2"X10"
- Ⓕ HEADER TRIPLE 2"X12"X22' FRAMED IN ACCORDANCE WITH R602.10.4.1.1
- Ⓖ PORCH BEAM QUAD 2"X10"



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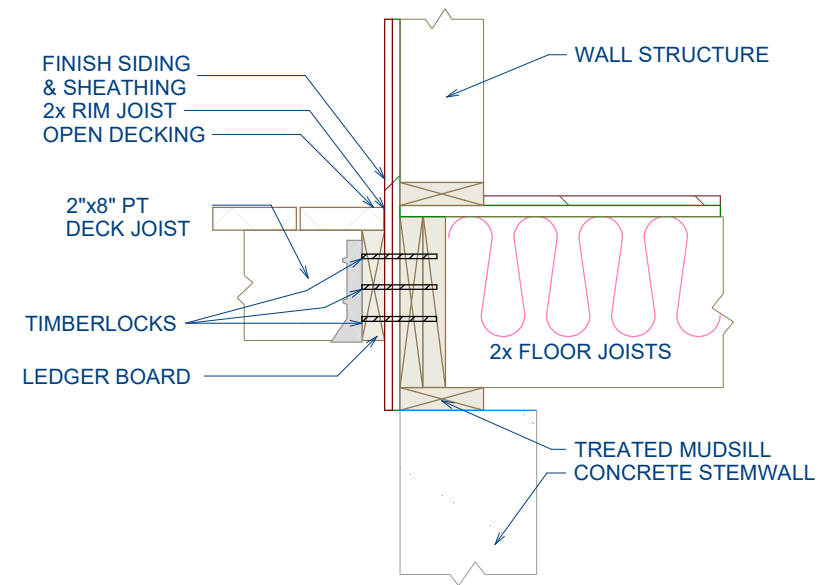
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 A-6

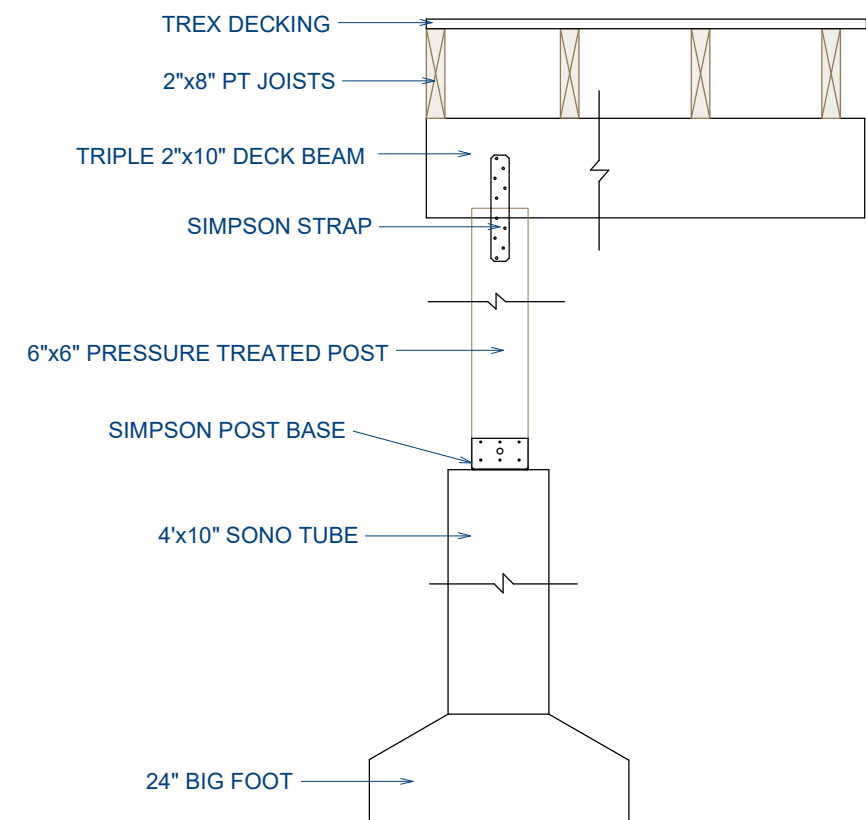


Typical 1 Story Section

FRONT PORCH TO BE FRAMED EXTENDING 5 1/2" FROM EXTERIOR WALL IN ORDER TO GIVE ROOM FOR DECORATIVE POSTS
FRONT PORCH, BACK DECK, AND EXTERIOR STAIRS ARE TO BE PICTURE FRAMED.



Deck Anchored to Wood Wall: 1st Floor



Deck/Porch Pier Detail

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