

2-24-2025

TO : MEMBERS OF THE ZONING BOARD

DURING THE PROCESS OF REQUESTING APPROVAL TO BUILD A SINGLE FAMILY HOME MY CAREER AND MOMENTUM WAS UPENDED BY A CONCUSSION THROUGH NO FAULT OF MY OWN LEFT ME WITH PHYSICAL AND COGNITIVE IMPAIRMENTS . IMPROVEMENTS HAVE BEEN MINIMAL UNTIL RECENTLY WHERE SOME SIGNS OF COGNITIVE IMPROVEMENT HAS GIVEN ME CAUTIOUS OPTIMISM THAT THE POSSIBILITY OF SUPERVISING THE PROJECT MAY BE POSSIBLE IN THE FUTURE. SELLING THE PROPERTY WAS NEVER ORIGINALLY CONSIDERED AND EXISTS MORE AS A LAST RESORT TO AN UNRECOVERABLE SITUATION.

THE ORIGINAL HOUSE APPROVED BY THE BOARD WAS VERY MODEST IN SIZE (1,240 SQUARE FEET INCLUDING A 1 CAR GARAGE FOOTPRINT) AND DOES NOT ALLOW FOR MOST EXPANSION REQUESTS THAT COULD BE EXPECTED BY POTENTIAL CLIENTS. ADDITIONALLY THE BOARD REQUESTED GUARD RAILS PLACED AT THE TOP OF THE COVE AREA BEHIND THE PROPOSED HOUSE AND AT OUR LAST MEETING DISCUSSED THE MULTIPLE DIFFICULTIES AND ISSUES ASSOCIATED WITH THIS REQUEST. A PLAN WAS DISCUSSED AND PRESENTED THAT INVOLVES 2 RETAINING WALLS THAT SOLVES DIFFICULTIES AND ISSUES WITH A MINOR DISTURBANCE TO THE WETLAND AREA OF LESS THAN 12 SQUARE FEET.

TWO NEW PROPOSALS WILL BE PRESENTED TO THE BOARD.

- 1) TO INCREASE THE POTENTIAL BUILDING ENVELOPE OR FOOTPRINT TO A REASONABLE SIZE OF 2,652 SQUARE FEET. AS SEEN FROM THE STREET THE AREA BEGINS AT THE FRONT LEFT CORNER OF GARAGE AND EXPANDS 2 FEET BEYOND THE ORIGINAL AND NEW HOUSE SHOWN TO 26 FEET. THE FRONT LINE OF THE HOUSE MAINTAINS AND CONTINUES ON TO 102 FEET. TOTAL ENVELOPE SIZE IS 26' X 102' WHICH DOES MAINTAIN THE 35' SETBACKS TO FRONT AND SIDES. SETBACK TO THE WETLAND AREAS WAS WAIVED WHEN ORIGINALLY APPROVED.(4.8)
- 2) PERMISSION TO DISTURB AN AREA OF WETLAND OF 12 SQUARE FEET OR LESS FOR THE PURPOSES OF A INSTALLING A SET OF RETAINING WALLS IN THE COVE AREA BEHIND THE HOUSE. THIS AREA WOULD SEE FILLING AND OR A SECTION OF THE LOWER RETAINING WALL. CONSEQUENTLY, THE NEW CLEAN AREA WILL BE FAR SAFER FOR THE WETLAND CREATURES IN THE END AND WATERWAY. THE AREA NEXT TO COVE SHOWN AS DRAINAGE DITCH TO COMPLETE PRIOR WORK FOR DRAINAGE PIPES. (SPECIAL EXCEPTIONS 11.4 B)

THANK YOU FOR YOUR ATTENTION

RESPECTFULLY ;

John Christopher McInerney

VARIANCE CRITERIA

4.8 GENERAL PROVISIONS AND PERFORMANCE STANDARDS
WETLANDS CONSERVATION DISTRICT SETBACK

11.4 B NON PERMITTED USE WETLANDS CONSERVATION DISTRICT
(SPECIAL EXCEPTIONS)

TAX MAP PARCEL C – 94
WILTON CENTER ROAD

LAND OF :
JOHN CHRISTOPHER MCINERNEY (JCM)
46 WHEELER STREET
PEPPERELL, MA. 01463

PREPARED BY (JCM)
CREDITS TO FIELDSTONE LAND CONSULTANTS
CHRISTOPHER A. GUIDA (CAG)

A VARIANCE IS BEING REQUESTED FOR RELIEF FROM THE WILTON ZONING ORDINANCES, LISTED BELOW, TO ALLOW FOR THE CONSTRUCTION OF A NEW LARGER BUILDING ENVELOPE FOR A 3 BEDROOM HOME ON AN EXISTING NON CONFORMING LOT OF RECORD WITH HIGHLY PERMEABLE SOIL. APPROVAL FOR A SMALLER HOME PREVIOUSLY GRANTED. THE LOT IS TRANSECTED BY A PERENNIAL STREAM TO THE NORTH AND WEST WITH ASSOCIATED WETLANDS. THE LOT HAS BEEN PREVIOUSLY CLEARED ADJACENT TO WILTON CENTER ROAD AND HAS BEEN HISTORICALLY USED FOR EQUIPMENT STORAGE. A MAN MADE DRAINAGE DITCH HAS BEEN MAINTAINED ALONG THE EASTERN LOT LINE OFF MARDEN ROAD TO MAINTAIN PROPER DRAINAGE FROM THE LOT AND ADJACENT ROADWAY. THE LOT CONFIGURATION AND WETLANDS THROUGH THE WESTERN PORTION CREATES AN INHERENT HARDSHIP FOR DEVELOPMENT OF THIS LOT. PART OF THE LAND TO THE REAR OF THE DWELLING IS MINIMAL AND THE ELEVATION QUICKLY LOWERS BY 10 TO 11 FEET. GUARDRAILS WERE REQUESTED BY THE BOARD AND ALONG WITH OTHER CONCERNS CREATES AN INHERENT HARDSHIP FOR REASONABLE USE OF THE LOT. (CAG) (JCM)

4.8 GENERAL PROVISIONS AND PERFORMANCE STANDARDS, WETLANDS
CONSERVATION DISTRICT SETBACK.

ALL STRUCTURES MUST BE SET BACK FIFTY (50) FEET FROM DELINEATED WETLANDS AND WATER BODIES.

REQUESTING RELIEF FROM THE 50 FOOT SETBACK TO THE EDGE OF WETLANDS TO ALLOW FOR THE CONSTRUCTION OF A RESIDENTIAL SINGLE FAMILY DWELLING. HOUSE WILL BE LOCATED NO CLOSER THAN 21 FEET TO THE WETLANDS, ALL OTHER

SETBACKS OBSERVED. NOTE : PREVIOUSLY APPROVED AT 23 FEET FROM THE WETLANDS.

11.4 B NON PERMISSIBLE USE WETLANDS CONSERVATION DISTRICT

SPECIAL EXCEPTIONS : THE UNDERTAKING OF A USE NOT OTHERWISE PERMITTED IN THE WETLAND CONSERVATION DISTRICT, WHICH MAY INCLUDE THE ERECTION OF A STRUCTURE, DREDGING, FILLING, DRAINAGE OR OTHERWISE ALTERING THE SURFACE CONFIGURATION OF THE LAND, IF IT CAN BE SHOWN THAT THE PROPOSED USE WILL NOT CONFLICT WITH THE PURPOSE AND INTENT OF THIS SECTION AND IF THE PROPOSED USE IS OTHERWISE PERMITTED BY THE ZONING ORDINANCE. PROPER EVIDENCE TO THIS EFFECT SHALL BE SUBMITTED IN WRITING TO THE ZONING BOARD OF APPEALS AND SHALL BE ACCOMPANIED BY THE FINDINGS OF A REVIEW BY A SOIL SCIENTIST CERTIFIED BY THE NEW HAMPSHIRE BOARD OF NATURAL SCIENTISTS SELECTED BY THE PLANNING BOARD AND OR THE ZONING BOARD OF ADJUSTMENT.

THE MINIMUM AREA TO BE AFFECTED WAS DESCRIBED TO THE ZONING BOARD BY (CAG) AS A FARM DUMP. SOIL DESCRIBED AS SANDY GRAVEL WITH ASPHALT SHINGLES AND DEBRIS MIXED.

SOIL WAS TESTED BY RPF ENVIRONMENTAL TESTING AND CONSULTING SERVICES. PETROLEUM WAS DETECTED AT 670 MILLIGRAMS PER KILOGRAMS. TEST RESULTS AND PHOTO GIVEN TO THE ZONING BOARD.

IN CONSIDERATION THAT THE MINIMAL AREA OF DISTURBANCE IS LESS THAN 12 SQUARE FEET AND ADDRESSED BY (CAG) PREVIOUSLY WITH THE BOARD AS A FARM DUMP AND FURTHER SOIL TESTING DONE BY A PROFESSIONAL SOIL TESTING COMPANY IN THE STATE OF NEW HAMPSHIRE AND FOUND TO HAVE SOME PETROLEUM ASSOCIATED WITH SAID AREA THAT NO FURTHER LETTERS OR INSPECTIONS BE NEEDED FOR RETAINING WALLS NOTED ON THE PLAN AND PREVIOUSLY DESCRIBED.

REQUESTING RELIEF FROM THE 50 FOOT SETBACK REQUIREMENT FOR THE PURPOSE OF A SET OF RETAINING WALLS WITH ONLY THE AREA OF LESS THAN 12 SQUARE FEET TO BE CLEANED AND REPURPOSED. FURTHER SAID AREA WILL BE CONSIDERED HABITAT AREA UPON COMPLETION AND NOT FOR GENERAL HOME USE.

THE NUMBERED ITEMS BELOW CORRELATE TO THE QUESTIONS IN THE TOWN APPLICATION FOR A VARIANCE.

1. GRANTING THE VARIANCES WOULD NOT BE CONTRARY TO THE PUBLIC INTEREST BECAUSE:

GRANTING THESE VARIANCES WOULD ALLOW FOR THE CONSTRUCTION OF A REASONABLE SIZED 3 BEDROOM SINGLE FAMILY HOME WITH STATE APPROVED SEPTIC SYSTEM (ECA2022112209). THE PROPOSED DEVELOPMENT IS WITHIN A PREVIOUSLY CLEARED AREA AND WOULD MINIMIZE THE IMPACT TO THE ADJACENT WETLANDS AND STREAM. THE RETAINING WALLS ARE POSITIONED FOR THE LEAST IMPACT ON THE WETLAND AREAS AND GREATLY IMPROVES THE HABITAT AREA AS WELL AS CLEANER WATER TO THE PERENNIAL STREAM. PRIOR TO PURCHASE, THE EXISTING DRAINAGE DITCH COMBINED WITH SOME EXISTING DRAINAGE LINES INSTALLED AND FILLED CAN BE SEEN ON THE PLAN, ALLOWING THE COMPLETION OF THE DITCH AREA IMPROVES SAFETY AND USAGE OF THE OTHER PORTION OF THE PROPERTY WHILE RESPECTING THE

PUBLIC INTEREST AS WELL AS THE RETAINING WALLS. DENIAL OF THE VARIANCES WOULD NOT PROVIDE ANY SUBSTANTIAL BENEFIT TO THE TOWN AND WOULD NOT OUTWEIGH THE BENEFIT TO THE LAND OWNER FOR REASONABLE USE OF THE PROPERTY.

2. GRANTING THE VARIANCE WOULD BE CONSISTENT WITH THE SPIRIT OF THE ORDINANCE BECAUSE :

ALLOWING THE CONSTRUCTION OF A SINGLE FAMILY HOME WITH APPROVED SEPTIC SYSTEM WOULD PROVIDE THE MOST PRODUCTIVE AND REASONABLE IMPACTING USE OF THIS EXISTING NON CONFORMING LOT OF RECORD. THE LAND HAS BEEN PREVIOUSLY CLEARED, MINIMIZING IMPACTS TO THE STREAM AND ASSOCIATED WETLANDS. RETAINING WALLS PLACED FOR THE LEAST IMPACT TO THE WETLAND AREA. ADDITIONALLY EROSION CONTROL WOULD BE IMPLEMENTED TO MINIMIZE WATER POLLUTION AND PROTECT THE WILDLIFE HABITAT ALONG THE STREAM AND WETLAND FOR BOTH THE RETAINING WALLS AND THE DRAINAGE DITCH. FOR ALL THESE REASONS WE BELIEVE THAT GRANTING THE VARIANCE WOULD OBSERVE THE SPIRIT OF THE ORDINANCE.

- 3) GRANTING THE VARIANCE WOULD DO SUBSTANTIAL JUSTICE BECAUSE; GRANTING THIS VARIANCE WOULD DO SUBSTANTIAL JUSTICE BECAUSE IT WOULD ALLOW OF THE CONSTRUCTION OF A REASONABLE SINGLE FAMILY HOME WITHIN A DISTRICT FOR THE USAGE IT WAS DESIGNATED FOR. THE PROPOSED DEVELOPMENT IS WITHIN A PREVIOUSLY CLEARED AREA AND WOULD MINIMIZE THE IMPACT TO THE ADJACENT WETLAND AND STREAM. THE RETAINING WALLS ARE POSITIONED FOR THE LEAST ENVIRONMENTAL IMPACT TO THE WETLANDS AND STREAM WHILE IMPROVING HABITAT AREA. THE COMPLETION OF THE DRAINAGE DITCH WOULD FURTHER IMPROVE CURRENT CONDITIONS AND USE. FURTHERMORE THE RETAINING WALLS AND DRAINAGE DITCH PROJECTS WOULD WEIGH SO HEAVILY ON THE CONSIDERATION OF THIS LOT THAT THEY THEMSELVES WOULD DO SUBSTANTIAL JUSTICE .GRANTING THIS VARIANCE WOULD DO SUBSTANTIAL JUSTICE BECAUSE IT WOULD ALLOW THE ONLY PRODUCTIVE USE OF THE PROPERTY, ALLOW FOR THE OWNER TO BUILD A REASONABLE HOME AND HAVE NO SUBSTANTIAL EFFECT ON THE ENVIRONMENT OR THE GENERAL PUBLIC. THE RETAINING WALLS PLANED ARE LESS DETRIMENTAL ON THE WETLAND AREA THAN THE CURRENT STATUS THAT EXISTS WHILE THE DRAINAGE DITCH HAS NO ADDITIONAL IMPACT.

- 4) THE PROPOSED USE WILL NOT DIMINISH SURROUNDING PROPERTY VALUES BECAUSE:

GRANTING THESE VARIANCES ALLOWS FOR THE CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING WITH UPDATED, STATE APPROVED SEPTIC SYSTEM TO CURRENT STANDARDS WHICH WOULD INCREASE THE SURROUNDING PROPERTY VALUES AND BE WITHIN KEEPING WITH THE OTHER RESIDENTIAL DWELLINGS OF NEIGHBORING PROPERTIES IN THE VICINITY. THE CONSTRUCTION OF A SINGLE FAMILY RESIDENTIAL DWELLING IS THE HIGHEST AND BEST USE FOR THE PROPERTY, AND WE DO NOT BELIEVE THAT THIS PROPOSAL WOULD HAVE ANY NEGATIVE IMPACT ON THE SURROUNDING PROPERTY VALUES. THE RETAINING WALLS AND DRAINAGE DITCH AREA IN PROPOSAL MOSTLY CANNOT BE SEEN LET ALONE BE DETRIMENTAL IN VIEW. BOTH IMPROVEMENTS WOULD ONLY INCREASE USE AND VALUE OF THE PROPERTY WHICH LEADS US TO BELIEVE BOTH PROJECTS WOULD POSITIVELY IMPACT SURROUNDING PROPERTIES.

THE FORMER USE OF THE PROPERTY INCLUDED SUBSTANTIAL PILES OF OLD FARM EQUIPMENT AND ASSORTED DEBRIS WHICH MOST OF WHICH WAS REMOVED. EXPERIENCE HAS SHOWN THAT NEW HOME CONSTRUCTION, SIMILAR TO WHAT IS PROPOSED, WILL TYPICALLY HAVE A POSITIVE IMPACT ON SURROUNDING PROPERTIES.

5) LITERAL ENFORCEMENT OF THE PROVISIONS OF THE ORDINANCE WOULD RESULT IN UNNECESSARY HARDSHIP.

(i) THE PROPERTY CANNOT BE REASONABLY USED IN STRICT CONFORMANCE WITH THE ORDINANCE:

THE CURRENTLY VACANT NON CONFORMING LOT OF RECORD CONSISTS OF A PERENNIAL STREAM AND ASSOCIATED WETLANDS TO THE NORTH AND WEST OF THE LOT MAKING THE ONLY BUILDABLE AREAS EITHER ADJACENT TO MARDEN ROAD OR WILTON CENTER ROAD. THESE LOCATIONS BOTH REQUIRE ZONING RELIEF.

THE LEACHFIELD/SEPTIC SYSTEM IS LOCATED TO THE FURTHEST POSSIBLE DISTANCE AWAY FROM THE WETLANDS. THE PROPOSED RESIDENTIAL DWELLING IN THE PREVIOUSLY CLEARED AREA OFF OF WILTON CENTER ROAD MEETS ALL OTHER BUILDING SET BACK REQUIREMENTS FOR RESIDENTIAL / AGRICULTURAL ZONING WITH ONLY MINOR RELIEF REQUESTED FOR THE UNDERLYING ZONING AND SET BACK TO THE WETLANDS OF HIGHLY PERMEABLE SOILS. THE CHARACTERISTICS OF THE LAND WITHIN THIS PROPERTY PREVENT ANY IMPROVEMENT OF THE LOT WITHOUT SOME TYPE OF ZONING VARIANCE GRANTED BY THE TOWN.

(ii) THE HARDSHIP IS A CONSEQUENCE OF SPECIAL CONDITIONS OF THE PROPERTY THAT DISTINGUISH IT FROM OTHER PROPERTIES IN THE AREA: AS PREVIOUSLY STATED, THE INHERENT NATURAL FEATURES AND CHARACTERISTICS OF THIS LOT OF RECORD PREVENT ANY REASONABLE USE FOR NEW HOME, RETAINING WALLS AND DRAINAGE DITCH WITHOUT RELIEF FROM CURRENT ZONING REGULATIONS AS FOLLOWS: A PERENNIAL STREAM AND ASSOCIATED WETLANDS TRANSECT THE LOT AND ENCOMPASS MOST OF THE NORTHWESTERN PORTIONS OF THE LOT WITH ASSOCIATED SETBACKS IN HIGHLY PERMEABLE SOILS. THE PORTION OF THE LOT ADJACENT TO MARDEN ROAD IS SURROUNDED BY WETLANDS AND WOULD REQUIRE ADDITIONAL ZONING RELIEF AND INCREASED POTENTIAL IMPACT TO THE WETLANDS. GRANTING THE VARIANCES REQUESTED WOULD ALLOW FOR LIMITED REASONABLE USE OF THE PROPERTY AND PROVIDE THE TOWN AND COMMUNITY WITH NEEDED HOUSING AND TAX INCOME WHILE RESTORING NATURAL CONDITIONS OF THE WETLANDS AND WILDLIFE HABITAT ALONG AND WITHIN THE EXISTING PERENNIAL STREAM CORRIDOR. DENIAL OF THE VARIANCE WOULD PREVENT THE REASONABLE USE OF AN EXISTING LOT OF RECORD AND CAUSE AN UNDUE HARDSHIP TO THE LAND OWNER WHILE PROVIDING NO REALISTIC BENEFIT TO THE TOWN OR OVERALL COMMUNITY.

ZONING CONTINUED :

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SPECIAL CREDIT AND THANKS TO FIELDSTONE LAND CONSULTANTS
AND (CHRIS A GUIDA)(CAG)

RPF ENVIRONMENTAL TESTING
EASTERN ANALYTICAL INC.
SIGNATURE OF SOIL TESTING
LORRAINE OLASHAW
LAB DIRECTOR

ZONING DEPARTMENT

2-9-2025

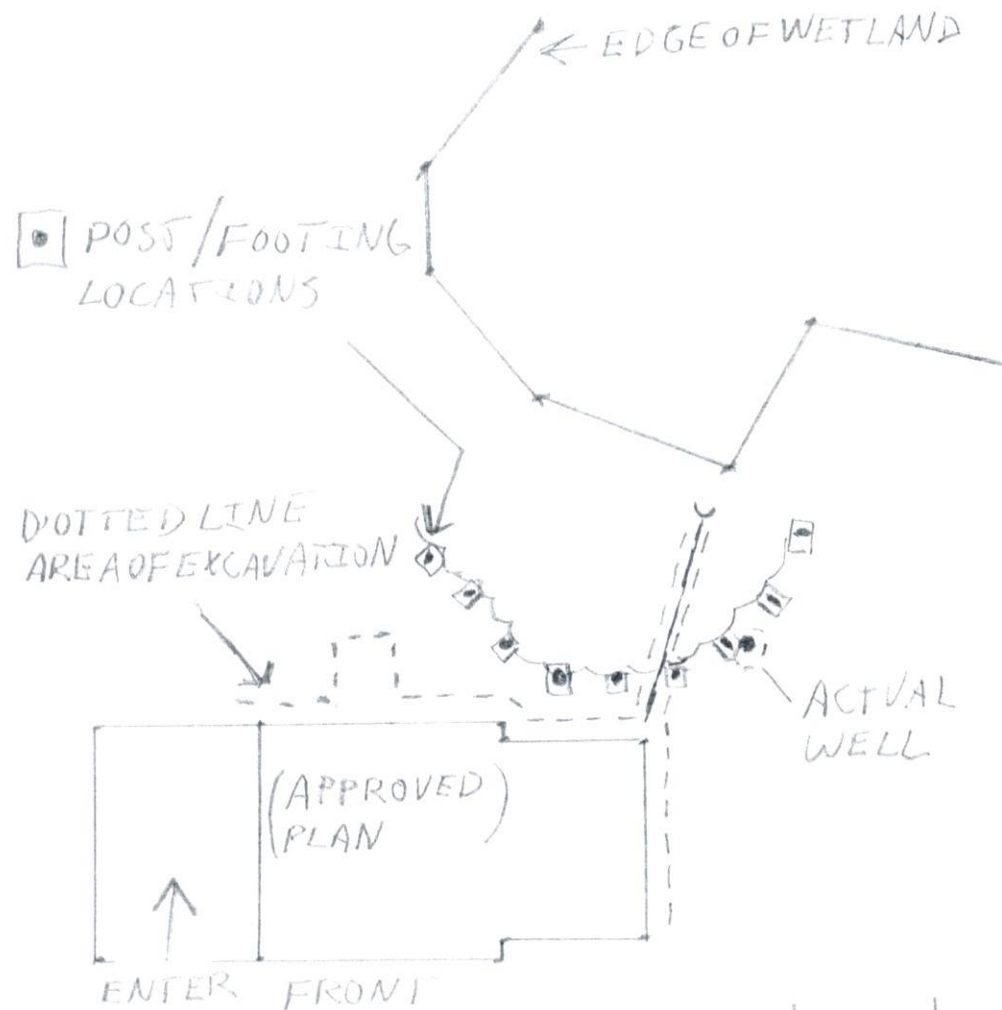
LOT C 94

JOHN CHRISTOPHER MCINERNEY

IT IS THE INTENTION OF THIS MEETING TO:

- 1) TO EXTEND THE BUILDING PERMISSION ON THE PROPERTY THAT WAS PREVIOUSLY APPROVED.
- 2) ESTABLISH WHAT PARAMETERS, IF ANY, OF THE FOOT PRINT ALLOWED FOR A POSSIBLE SALE OF THE PROPERTY. A ARBITRARY HOUSE SHOWN FOR DISCUSSION.
- 3) TO RESOLVE DESTABILIZATION OF THE LAND DIRECTLY BEHIND THE HOUSE WHILE RESPECTING A WETLAND AREA. A PLAN FOR THIS IS INCLUDED FOR DISCUSSION.

REAR COVE LOT C94
SHOWN WITH APPROVED HOUSE
IMMINENT DESTABILIZATION
OF UPPER COVE.



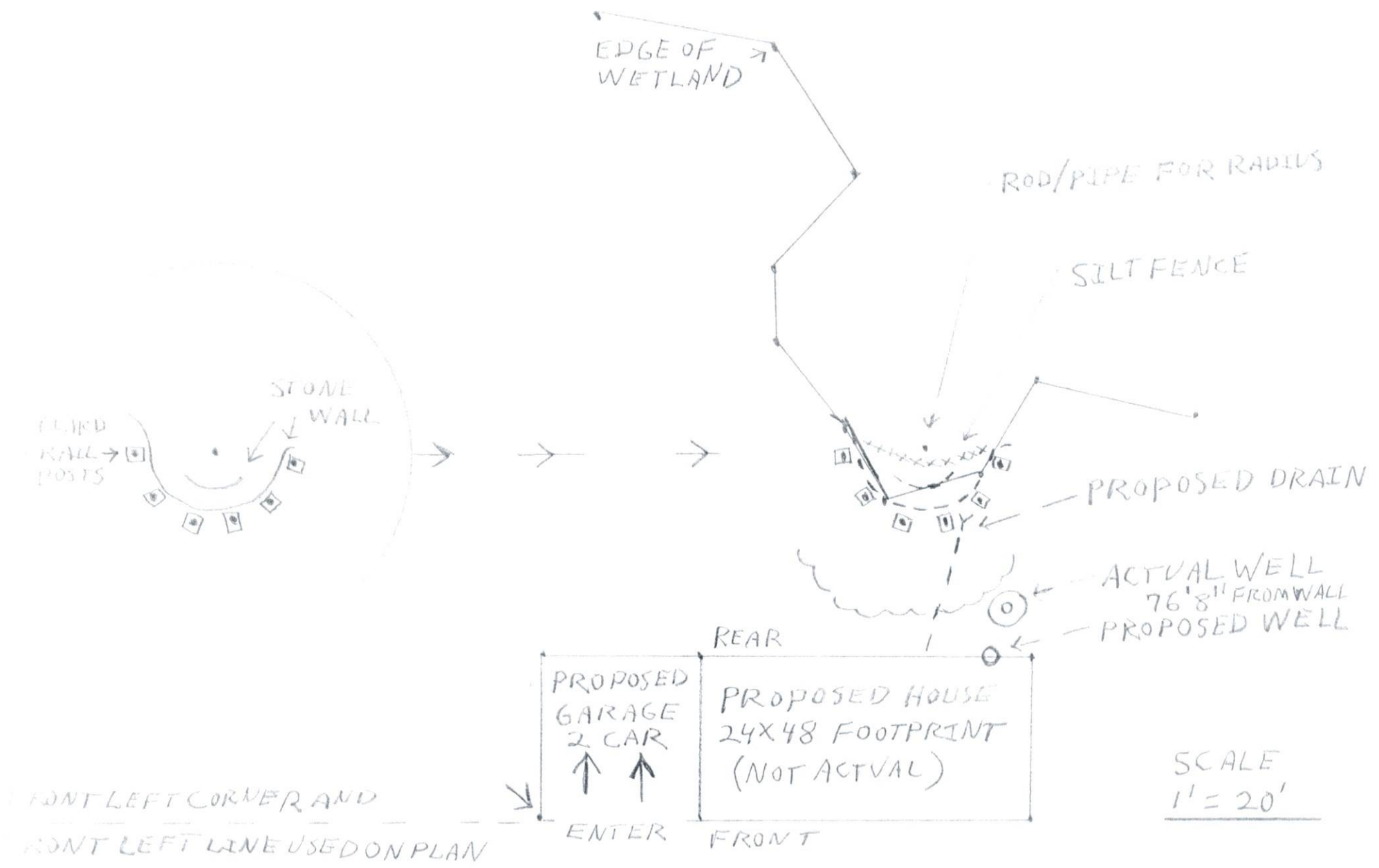
SCALE 1" = 20'

AREAS OF CONCERN ASSOCIATED WITH GUARD RAILS ON RE APPROVAL.

- EXCAVATION TO CLOSE TO ACTUAL WELL.
- EXCAVATION OF FOUNDATION COMBINED WITH FOOTING HOLES FOR BIG FOOT FOOTINGS AND FOOTING DRAIN WILL UNDOUBTEDLY LEAD TO DESTABILIZATION OF THE UPPER COVE. FURTHER MACHINE WORK AT UPPER EDGE FOR CLEAN UP MAKES DESTABILIZATION IMMINENT.
- EROSION OF SOIL BETWEEN FOOTINGS FOR POSTS IS ALSO INEVITABLE. GUARD RAILS AND CABLES ARE NOT DESIGNED TO MOVE WITH AN EDGE CONSTANTLY REDUCING WITH EVERY RAIN. SAFETY SPACE IS NOT TO EQUAL OR BE GREATER THAN 4".
- AREA IMMEDIATELY AROUND A HOME SHOULD EITHER BE STABLE OR HAVE A POSITIVE PLAN TO ADDRESS ANY CONCERNING ISSUES.
- THE LOT HAS AT LEAST 25% OF PROTECTED AREA OF WETLAND AND HABITAT ALREADY.
- THE CLEANUP OF OILY SHINGLES AND DEBRIS WILL DISTURB ANY CREATURES THAT MAY BE THERE. TIMING OF CLEAN UP WITH STABILITY WALLS SHOULD BE CONSECUTIVE.
- REASONABLE USE WITH THE HUGE EXPENSE OF A NEW HOUSE SHOULD BE CONSIDERED.

REAR WETLAND COVE CLEAN UP AND STABILITY PLAN.

LOT 694



FRONT LEFT CORNER AND FRONT LEFT LINE USED ON PLAN

PROPOSED
WETLAND COVE

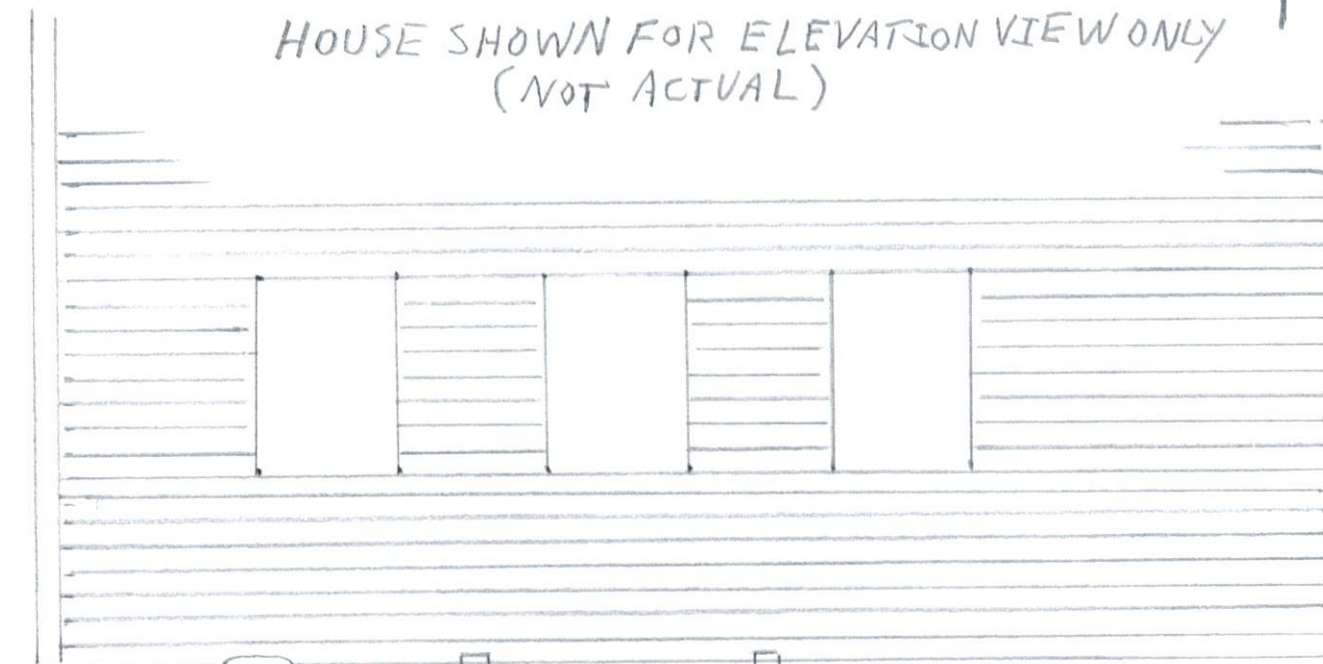
LOT C94

HOUSE SHOWN FOR ELEVATION VIEW ONLY
(NOT ACTUAL)

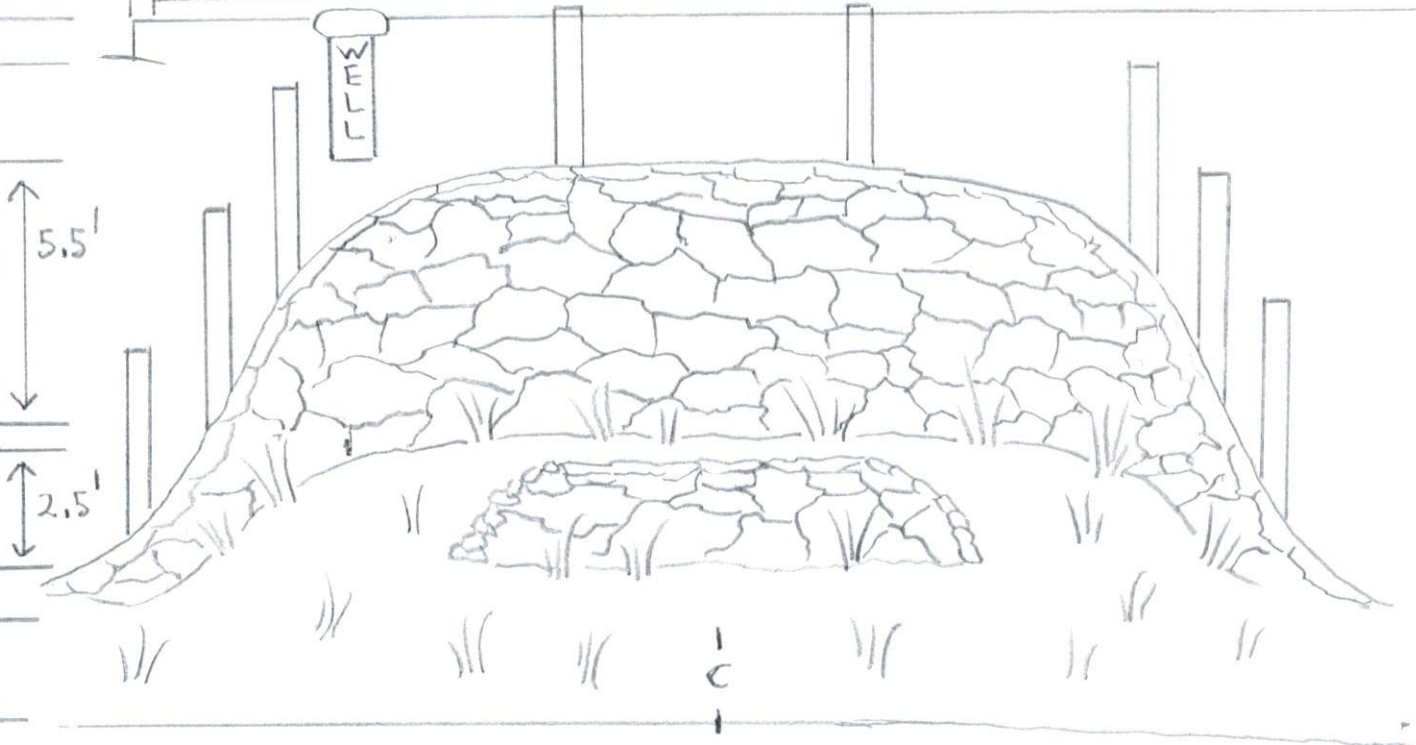
4

BACK YARD STABILITY AND
USABILITY PLAN.

FOLLOWING CLEAN UP OF
OIL MATERIALS AND DEBRIS
A POSITIVE AND CLEAN ENVIR-
ONMENT FOR ALL POSSIBLE WET-
LAND CREATURES.



E=597.5	TOP OF FOUNDATION
596.5	GRADE AT CORNER
594.5	TOP OF WALL
589	BASE OF WALL
588.5	TOP OF WALL
586	BASE OF WALL
585	GRAVEL BASE
583	WATER SURFACE AT ϕ



SCALE $\frac{1}{4}'' = 1'$

20' DIAMETER 10' RADIUS

FOOTINGS ARE 10" WITH BIG FOOT BASE.
48" BELOW GRADE MINIMUM. 3/8 J BOLTS
IMBEDDED FOR SIMPSON OR OTHER BASE
BRACKETS USED. BASE OF FOOTINGS SHOULD
NOT TOUCH WALL STONES.

POSTS ARE A MINIMUM OF 4x4 AND
ALUMINUM INNER POSTS RECOMMENDED
FOR LONGEVITY. 6' SPACING RECOMMENDED.

GUARD RAILS ARE CABLES WITH A MAXIMUM
SPACING OF 3 AND 7/8. TOP CABLE AT 42".

NATURAL STONE RETAINING WALLS NEAR
WETLAND AREAS GUIDELINES.

NO EQUIPMENT OR MACHINES SHALL ENTER
THE WETLAND AREAS.

ONLY PERSONS INSTALLING THE SILT BARRIER
AND OR TO INSTALL A ROD OR PIPE FOR RADIUS
WORK IS ALLOWED. ALL PERSON WORK MUST
REMAIN INSIDE OF ASSUMED WORK AREA NOTED.

CAUTION FOR WETLAND CREATURES DURING
CLEAN UP OUTSIDE OF THE SILT BARRIER. CLEAN
UP BY PERSON ONLY.

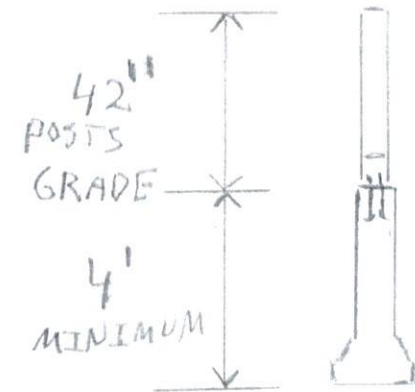
RETAINING WALLS SHOULD HAVE A HEAVY BASE
OF STONE FOR DRAINAGE AND STABILITY.
USE LARGE AND WIDE BASE STONE OR STONES.
STONES SHOULD PITCH BACK NOT FORWARD.
CONSTRUCTION MESH SHOULD BE USED EVERY
FEW COURSES. HOLES CAN BE DRILLED INTO
THE REAR OF STONES WITH SDS BITS 2" DEEP.
BLOW OUT DUST AND USE FAST SETTING ANCHOR
EPOXY TO SET ANCHOR HOLDS. USE TIES TO SNUG
ALL ANCHORS TO MESH THAT IS ITSELF SECURED BY
PINS.

DRAINAGE FOR FOOTING SHOULD BE AWAY FROM
THE BASE OF WALLS.

FILL CAN BE MATERIALS EXCAVATED FROM THE
FOUNDATION AREA OR SIMILAR.

BEHIND THE WALLS IT IS VERY IMPORTANT
3/4 STONE MUST BE USED FOR PROPER DRAINAGE,
TO AVOID DIRT BLEEDING AND MOST IMPORTANT TO
ALLOW SPACES FOR WETLAND CREATURES.
STONE COURSES SHOULD STEP BACK BY 1" TO 1.5"
DEPENDING ON TOTAL HEIGHT.

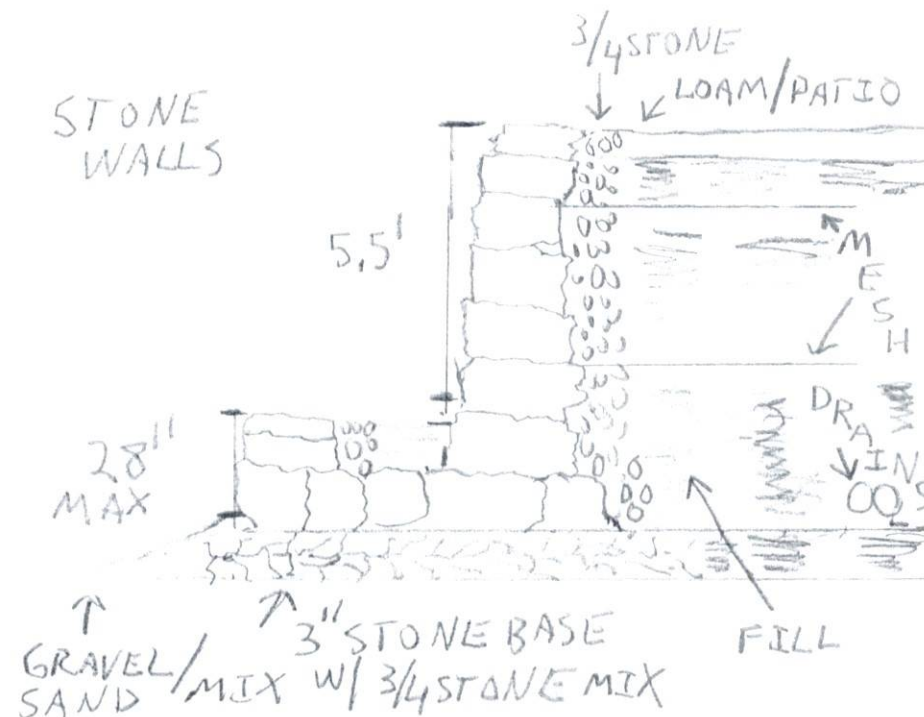
FOOTINGS



LOT C94

SCALE 1/4" = 1'

STONE WALLS



LOT C 94 REAR COVE CONSTRUCTION NOTES CONTINUED.

SILT BARRIERS

PROPER INSTALLATION REQUIRES THAT THE ENTIRE LENGTH OF BARRIER HAS THE LOWER 3" OF THE MATERIAL INSERTED INTO THE SOIL. TO CREATE THE SOIL NOTCH INSERT AN EDGING TOOL OR SHOVEL ALONG THE LINE AND GENTLY SWING YOUR HANDLE BACK AND FORTH AND REPEAT AS YOU GO. NO DIGGING OR SCOOPING OUT MATERIAL IS NECESSARY. AFTER THE ENTIRE LENGTH OF BARRIER HAS THE STAKES DRIVEN IN AND THE LOWER MATERIAL IS EMBEDDED USE YOUR FEET TO PUSH THE SOIL AGAINST THE FABRIC ON BOTH SIDES. BOTH ENDS OF THE BARRIER SHOULD EXTEND UP ONTO HIGHER GRADE TO EQUAL THE HEIGHT OF THE BARRIER IN YOUR LOWER AREA.

NOTE: HAY BALES BEHIND THE BARRIER NOT RECOMMENDED FOR SOME OF THE WETLAND CREATURES COULD BE EXPOSED, HARMED OR REMOVED WHEN TAKEN OUT.

BARRIERS ARE TO BE CHECKED AFTER EACH RAIN. EXCESS SILT AND SOIL CAN BE REMOVED BY A HAND SHOVEL.

VIBRATING

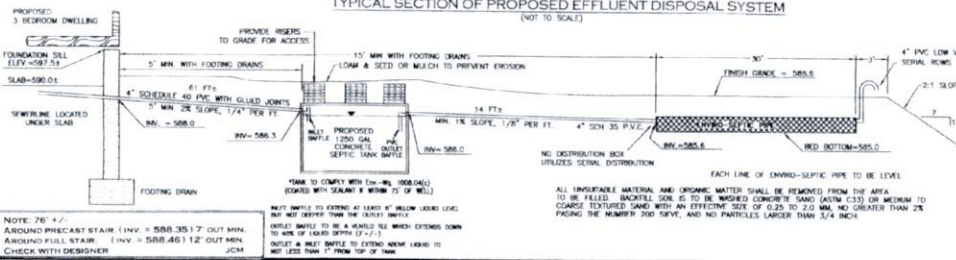
IT IS RECOMMENDED IN ALL RETAINING WALL AREAS THAT VIBRATION OF THE NEW CRUSHED STONE BASE IS PERFORMED FOR WALL LONGEVITY.

GUARD RAIL AMOUNTS AND SAFETY

6 POSTS SHOW ON THE PLAN HOWEVER, 8, 10 OR EVEN 12 MAY BE WARRANTED. ANY SURFACE 30" ABOVE ANOTHER REQUIRES A GUARD RAIL.

CONTRACTOR NOTE: EACH END GUARD RAIL POST SHOULD HAVE A GATE OR SECTION 42" HIGH TO PREVENT ALL PERSONS FROM ENTERING BETWEEN THE GUARD RAILS AND THE EDGE OF WALLS. A SIMPLE DROP BOLT MAY BE USED SO IT DROPS INTO A GALVANIZED PIPE TO SECURE IN PLACE. THIS BOLT SHOULD HAVE A PADLOCK OR SUCH TO PREVENT UN WANTED ENTRY IN THIS DANGER AREA.

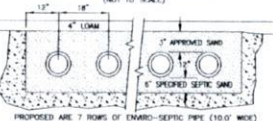
TYPICAL SECTION OF PROPOSED EFFLUENT DISPOSAL SYSTEM
(NOT TO SCALE)



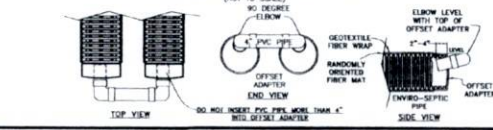
SPECIFIED SEPTIC SAND

ASTM C-33 STANDARD SAND SPECIFICATION
SIEVE (SPECIFICATION E11) PERCENT PASSING
9.5-MM (3/8 IN) 100%
4.75-MM (No. 4) 95-100%
2.5-MM (No. 6) 80-100%
1.18-MM (No. 16) 50-80%
600-UM (No. 30) 25-60%
300-UM (No. 60) 5-30%
150-UM (No. 100) 0-10%
And Presby Environmental, Inc. Requires:
75-UM (No. 200) 0-2%
(Value must obtained by washing)

TYPICAL CROSS SECTION
(NOT TO SCALE)



RAISED CONNECTION DETAIL



NOTE: 76" +/- AROUND PRECAST STAIR (L.V. = 588.35) 7' OUT MIN. AROUND FULL STAIR (L.V. = 588.45) 12' OUT MIN. CHECK WITH DESIGNER JCM

NOTE: 76" +/- AROUND PRECAST STAIR (L.V. = 588.35) 7' OUT MIN. AROUND FULL STAIR (L.V. = 588.45) 12' OUT MIN. CHECK WITH DESIGNER JCM

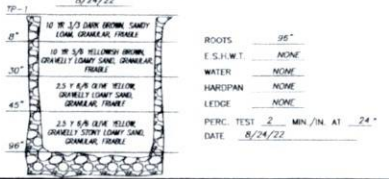
WETLANDS WERE DELINEATED IN PROXIMITY TO THE LEACH-FIELD AREA. WETLANDS WERE DETERMINED IN ACCORDANCE WITH ENV. REG. 1014.06 Delineation of Wetlands, HYDRIC SOILS DETERMINATION

MID-POINT NOTE:
AT LEAST 50% OF THE LEACHFIELD IS BEYOND THE MID-POINT ELEVATION OF 588.5 EXISTING GRADE, AND WILL MAINTAIN AT LEAST 2.0 FT. BETWEEN RED BOTTOM AND EXISTING NO PART OF THE LEACHFIELD SHALL BE CLOSER THAN 2.0 FT. TO SHM

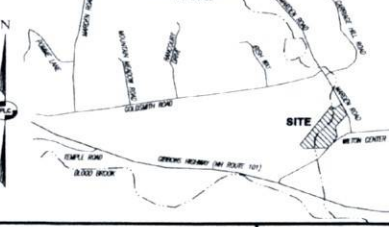
DESIGN INTENT

SEPTIC LOADING DATA
3 BEDROOM HOUSE AT 2 MIN PER INCH REQUIRES 210 LINEAR FEET OF ENVIRO-SEPTIC LARGE DIAMETER LEACHING PIPE. PROPOSED ARE 7 ROWS OF 30' LINEAR FEET EACH OR 210' TOTAL LINEAR FEET.
SOIL DATA - COLTON GRAVELLY SANDY LOAM, B TO 15% SLOPES
DESIGN INTENT:
DUE TO SHM AT 96" THE BOTTOM OF THE EFFLUENT DISPOSAL SYSTEM (EDS) SHALL BE CONSTRUCTED AT 585.0 ELEVATION. THIS IS APPROXIMATELY 6.0' ABOVE / BELOW ORIGINAL EXISTING GROUND ON THE HIGH CONTOUR OF THE EFFLUENT DISPOSAL SYSTEM (EDS).
LEACHFIELD IS TO BE RESULT IN PLACE IF REPLACEMENT BECOMES NECESSARY.
SUBMISSION APPROVAL # PRF-1987
PREVIOUS CONST. APPROVAL #
DEED REFERENCE: HILLSBOROUGH COUNTY BOOK/PAGE #598/112

TEST PIT DATA



LOCUS PLAN



NOTES

- THIS IS NOT A PROPERTY LINE SURVEY. ALL PROPERTY LINES SHALL BE VERIFIED BY OWNER AND CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- OWNER AND CONTRACTOR ARE RESPONSIBLE FOR CONTACTING DRISAFE FOR UTILITIES SHOWN HEREIN ARE APPROXIMATE ONLY.
- THERE ARE NO POORLY DRAINED WETLANDS WITHIN 75 FEET OF THE LEACHFIELD.
- THERE ARE NO VERY POORLY DRAINED WETLANDS OR STANDING SURFACE WATER WITHIN 75 FEET OF THE LEACHFIELD.
- INSTALLER SHALL NOT ALLOW ANY STRONGHOLD TRAVEL TO OCCUR OVER THE PROPOSED EFFLUENT DISPOSAL SYSTEM (EDS) EXCEPT DURING CONSTRUCTION.
- ALL PIPE CONNECTIONS TO THE SEPTIC TANK SHALL BE SEALED WITH A WATER-TIGHT FLEXIBLE JOINT CONNECTION IN ACCORDANCE WITH ENV. REG. 1010.02(A).
- THIS DESIGN DOES NOT PROVIDE FOR THE USE OF A GARIBAGE GRINDER IF A GARIBAGE GRINDER IS INSTALLED THE SEPTIC TANK CAPACITY WOULD NEED TO BE INCREASED.
- THIS SYSTEM IS NOT DESIGNED FOR DISCHARGES FROM WATER PURIFICATION SYSTEMS OR FLOOR DRAINS.
- REPLACEMENT SYSTEM TO BE LOCATED IN THE SAME AREA WHEN OR IF NECESSARY.
- CONTRACTOR SHALL USE CAUTION WHEN PREPARING THE SITE AND PLACING FILL MATERIALS TO AVOID COMPACTION AND/OR SMearing OF THE INFILTRATIVE SOILS.
- ALL INVERT ELEVATIONS AND GRADES ARE REFERENCED FROM THE T.B.M.
- DESIGNER SHALL BE NOTIFIED OF ANY CONDITIONS CONTRARY TO THOSE SPECIFIED ON THIS PLAN.
- WATER SUPPLY IS ON-SITE WELL.
- ALL PIPING SHALL BE 4" SCH 40 PVC UNLESS OTHERWISE SPECIFIED ON PLANS.
- SEPTIC TANK SHALL BE PUMPED AND CLEANED A MINIMUM OF EVERY THREE YEARS OR AT MORE FREQUENT INTERVALS IF NEEDED.
- SEPTIC TANK ARE TO BE SUPPLIED BY LAMARRE CONCRETE CORP OR EQUAL.
- ENVIRO-SEPTIC PRODUCTS TO BE SUPPLIED BY PRESBY ENVIRONMENTAL, INC. 1-800-473-5288
- NO KNOWN BURIAL SITES OR CEMETERIES WITHIN 100' OF ANY SEPTIC SYSTEM COMPONENT, PER ENV. REG. 1003.1(A)(3)
- ENVIRO-SEPTIC WASTEWATER TREATMENT SYSTEMS ARE APPROVED BY MDES AS AN ITA IN ACCORDANCE WITH SECTION ENV. REG. 1024 OF THE STATE REGULATIONS. THE SYSTEM IS DESIGNED IN ACCORDANCE WITH THE ENVIRO-SEPTIC AND SIMPLE SEPTIC LEACHING SYSTEM DESIGN AND INSTALLATION MANUAL, AND THE ENVIRO-SEPTIC WASTEWATER TREATMENT SYSTEM DESIGN AND INSTALLATION MANUAL, NEW HAMPSHIRE STATE ATTACHMENT.

LEGEND

- PROP. OF 100' LIM
- BOUNDARY LINE
- ROUTING LOT LINE
- BUILDING SETBACK LINE
- SIDE OF GRAVE ROAD
- SIDE OF FENCED ROAD
- SIDE OF WETLAND
- WETLAND BUFFER LINE
- 10' CONSIDER BURNAL
- 75' CONSIDER BURNAL
- CLEAR
- OVERHEAD UTILITY LINE
- UNDERGROUND UTILITY LINE
- GAS LINE
- WATER LINE
- CONCRETE FOUND
- BRICK FOUND
- IRON PIPE FOUND
- IRON PIPE FOUND
- BRICK
- BRICKMAN SET / FOUND
- 100' PE
- PERCOLATION TEST

ANY DISCREPANCIES, CHANGES, SUBSTITUTIONS OR DEVIATIONS FROM THIS PLAN REQUIRES NOTIFICATION OF THE DESIGNER. USE OF THIS PLAN FOR ANY PURPOSE OTHER THAN THE CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM SHALL BE AT THE USER'S RISK.

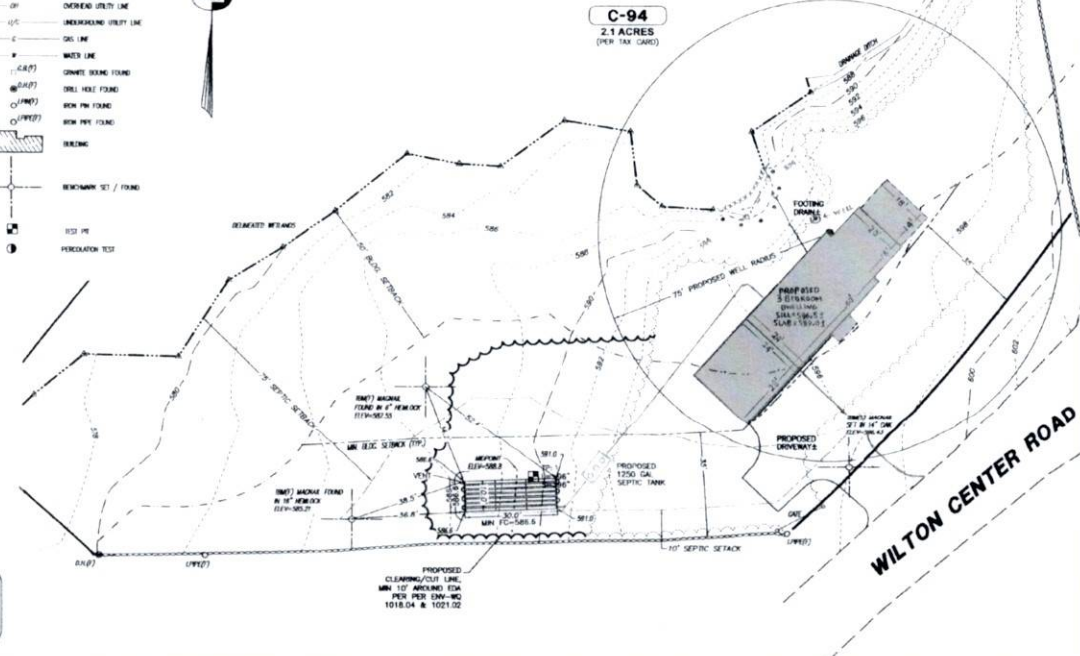
REAR COVE

PROPOSED RETAINING WALL / GUARD RAILS WALLS (1'-1'-1')
GUARD RAIL POSTS (4)
TEMPORARY SILT FENCING (100X)
BASE ELEVATION 585
BOTTOM AND TOP OF LOWER WALL ELEVATION 586.2 AND 588.5
BOTTOM AND TOP OF UPPER WALL ELEVATION 589 AND 584.5
ACTUAL WELL (Ø)
DISTANCE TO STONE WALL 76" B" JCM

FOOTPRINT (F) / SQUARE FOOTAGE (SF) NOTE:

DWELLING: 24' x 40' @ 20' x 16' (F) 1280 (SF) 2240
GARAGE: 24' x 28' (F) 672 (SF) 672
PORCHES: 4' x 9.5' @ 18' x 14' (F) 290 (SF) 290
TOTAL: (F) 2242
JCM

PLOT PLAN



CONTACT DRISAFE 72 HOURS PRIOR TO CONSTRUCTION
DIGSAFE.COM
CALL 811
IT'S SMART, IT'S FREE, IT'S THE LAW

PROPOSED SEWAGE DISPOSAL SYSTEM PLAN
TAX MAP C LOT 94
WILTON, NEW HAMPSHIRE
(WILTON CENTER ROAD)
PREPARED FOR:
JCM CUSTOM BUILDING
40 WHEELER STREET, PEPPERELL, MA 01463
LAND OF:
PRISCILLA PARKER
5 HOWARD STREET, APT. 5 - WILTON, NH 03088
SCALE: 1" = 20'
OCTOBER 11, 2022

Surveying • Engineering • Land Planning • Permitting • Septic Designs
FIELDSTONE
LAND CONSULTANTS, PLLC
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5454 Fax: (603) 413-5454
www.FieldstoneLandConsultants.com
FILE: 13865706.dwg PLOT NO: 1386.00 SHEET NO: 1 OF 1

October 14, 2022

Chris Mcinerney
 JCM Custom Building
 46 Wheeler St.
 Pepperell, MA 01463

Re: Parcel 94, Marden Road, Wilton NH
 Environmental Testing
 RPF File No. 22.1249

Dear Mr. Mcinerney:

In accordance with our scope of work dated July 8, 2022, RPF conducted environmental sampling at the above-referenced property. The sampling was conducted on September 14, 2022, by RPF EH&S Consultant, Bradley MacDowell. The following report is intended to provide documentation of the sampling that was conducted along with sample results and any relevant recommendations. This report is subject to the limitations provided in Appendix D.

Results and Discussion

On September 14, 2022, RPF visited the site and met with you to review the area and identify locations for sampling. The intent of this sampling effort was to conduct limited soil sampling of surface soils to attempt to identify any potential petroleum contamination resulting from past use of the site. The specific locations tested were as identified by you and were generally based on the past presence of equipment and machinery at the site that were believed to be potential sources of contamination.


As part of this sampling, RPF collected discrete soil samples of surface samples in the locations identified. These locations are presented in the site map included in Appendix A of this report. The sampling was conducted by the RPF EH&S Consultant using standard soil sampling techniques. Each sample was placed into a pre-cleaned glass jar, sealed, labelled, and transported under chain of custody to Eastern Analytical Laboratory in Concord, NH. The soil samples were analyzed for Total Petroleum Hydrocarbons-Diesel Range Organics using EPA Method 8015C-DRO. The results of this testing showed TPH-DRO results ranging from 64 to 1,400 milligrams per kilograms (mg/kg). The results of this sampling are presented in the following table with actual laboratory results included in Appendix B.

SUMMARY OF SOIL SAMPLE ANALYSIS RESULTS		
Sample Number	Sample Description/Location	TPH-DRO Result (mg/kg)
091422-S01	Soil at left corner of parcel, adjacent to Wilton Center Road	1,400
091422-S02	Soil under oil drum by edge of cove	<1,000
091422-S03	Soil at upper right of cove	670

00101 12



3. Sample location #3 – Upper right of cove

EXAMPLE PHOTOGRAPHS	 RPF Environmental TESTING & CONSULTING SERVICES www.airpf.com 603-942-5432 Project No. 22.1249
Site Address: Marden Road – Parcel C94 Wilton, NH	



Allan Mercier
RPF Environmental, Inc.
320 First NH Turnpike
Northwood, NH 03261

Laboratory Report for:

Eastern Analytical, Inc. ID: 249099
Client Identification: Parcel C94 - Wilton, NH | 22.1249
Date Received: 9/14/2022

Enclosed are the analytical results per the Chain of Custody for sample(s) in the referenced project. All analyses were performed in accordance with our QA/QC Program, NELAP and other applicable state requirements. All quality control criteria was within acceptance criteria unless noted on the report pages. Results are for the exclusive use of the client named on this report and will not be released to a third party without consent.

The following information is contained within this report: Sample Conditions summary, Analytical Results/Data, Quality Control data (if requested) and copies of the Chain of Custody. This report may not be reproduced except in full, without the written approval of the laboratory.

The following standard abbreviations and conventions apply to all EAI reports:

- < : "less than" followed by the reporting limit
- > : "greater than" followed by the reporting limit
- %R : % Recovery

Certifications:

Eastern Analytical, Inc. maintains certification in the following states: Connecticut (PH-0492), Maine (NH005), Massachusetts (M-NH005), New Hampshire/NELAP (1012), Rhode Island (269), Vermont (VT1012), New York (12072), West Virginia (9910C) and Alabama (41620). Please refer to our website at www.easternanalytical.com for a copy of our certificates and accredited parameters.


References:

- EPA 600/4-79-020, 1983
- Standard Methods for Examination of Water and Wastewater, 20th, 21st, 22nd & 23rd edition or noted revision year.
- Test Methods for Evaluating Solid Waste SW 846 3rd Edition including updates IVA and IVB
- Hach Water Analysis Handbook, 4th edition, 1992

If you have any questions regarding the results contained within, please feel free to contact customer service. Unless otherwise requested, we will dispose of the sample(s) 6 weeks from the sample receipt date.

We appreciate this opportunity to be of service and look forward to your continued patronage.

Sincerely,


Lorraine Olashaw, Lab Director

9.20.22
Date

PROPOSED DRAINAGE DITCH COMPLETION :

SEEN FROM WILTON CENTER ROAD THE EXISTING DRAINS AND FILLED AREA CAN BE SEEN IN THE NORTH EASTERN EDGE OF LOT C 94 ON THE PLAN.

DETAILS :

DRAIN LINES ARE CONCRETE WITH AN OUTSIDE DIAMETER OF (16" O.D.) AND INSIDE DIAMETER OF (12" I.D.).

LENGTH OF NEW WORK APPROXIMATELY (60') TO TERMINATION.

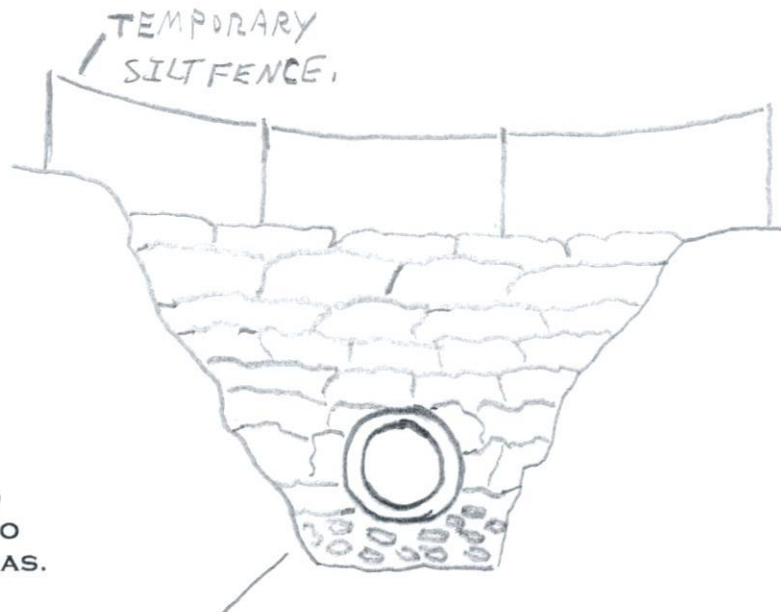
DRAIN LINES WILL BE SET ON A BASE OF NATURAL SANDY GRAVEL (12" DEEP) AND BACK FILLED WITH THE SAME MATERIAL. NO SIZABLE STONES SHOULD BE IN THESE AREAS.

TERMINATION AREA OF DRAIN LINE WOULD CONSIST OF 3" AND 3/4" STONE TO REDUCE FLOW. NATURAL STONE WORK USED TO HOLD SOILS BACK BESIDE AND ON TOP OF DRAIN.

PITCH OF ENTIRE DRAIN WILL HAVE A MINIMUM OF 1/8" PER FOOT. ADJUST AS NECESSARY.

TRANSITION BETWEEN THE OLD AND NEW LINES IS NECESSARY AND A CLEAN OUT IS RECOMMENDED.

SILT FENCING INSTALLED AT THE TERMINATION AREA AND 3 " OF LOWER MATERIAL TO BE INSERTED INTO 3/4" STONE BEHIND THE STONE RETAINING WALL. TEMPORARY UNTIL SUCH TIME THAT GRASSES HAVE GROWN AND EROSION CONTROLLED IN TOP LOAM AREA.



TERMINATION
STONE (TYPICAL)
TO EDGE OF WETLAND,
SCALE 1/2" = 1'